



**CITY OF DANIA BEACH  
COMMUNITY DEVELOPMENT DEPARTMENT  
STAFF REPORT**

**DATE:** March 27, 2012

**TO:** Robert Baldwin, City Manager *Robert Baldwin*

**VIA:** Robert Daniels, Director

**FROM:** Corinne Lajoie, AICP, LEED Green Associate, Principal Planner *CLJ*

**SUBJECT:** **SP-40-11 and VA-08-12:** The applicant, Skyland Plaza is requesting design variations and a site plan approval for the construction of a 2-story mixed use development located at 118 N. Federal Highway.

**DESIGN VARIATION**

To allow no gallery roof, awning or arcade as part of the modified shop frontage as required by Chapter 28, Section 303-40(N) and 311-20(4).

To allow no landscape island in a row of parking where required by Chapter 28, Section 275-100(C)(1).

**SITE PLAN**

To approve site plan for the construction of two (2) buildings totaling approximately 11,000 square feet of commercial space and eight (8) residential units.

**PROPERTY INFORMATION**

**ZONING:** City Center (CC)  
**LAND USE DESIGNATION:** Regional Activity Center (RAC)  
**OVER LAY DISTRICT:** Community Redevelopment Area (CRA), Principal Arterial Commercial Design Standard Overlay District.

This property is the current location of the Dairy Belle. The applicant is proposing to redevelop the site while maintaining the business on the property. The redevelopment includes construction of two (2) two-story buildings with commercial on the ground floor and residential above and an associated parking area.

**DESIGN VARIATION**

This project is located within the CRA in the City Center zoning district, which utilizes a form based code. The intent of the form based zoning codes provided for in the CRA is to encourage and facilitate redevelopment and build a vibrant community. This project achieves several of the objectives identified in the OneCode, which are identified below:

- Activate the sidewalk by building close to the street with parking facilities behind buildings, and by controlling the interface between building and sidewalk.
- Maintain and enhance when possible, the stability and property values of residential neighborhoods through compatible transition to nonresidential properties, and through building form standards that bring new or expanded dwellings closer to the street with a renewed emphasis on the front yard.
- Bring building to the roadway, ensure proper proportioning and require continuous building facades to “enclose” designated streets in order to help create a lively and

visually appealing environment that invites people to live, locate businesses and spend time shopping, dining and interacting with others.

- Encourage visual interest by ensuring the building and visual landscapes are accented rather than their parking facilities.
- Require the location of on-site parking facilities in the rear yard, accessed when possible through rear alleys or side streets.

One of the features of the form based City Center zoning district is a required building frontage type. The applicant is providing a modified shopfront frontage, meeting the minimum 30% window glazing requirement. However, the code requires modified shop fronts to provide a gallery roof, awning or arcade, which the applicant is not able to provide. This requirement can be waived through a procedure call "design variation", which is based on the following criteria:

1. Whether the request is for a reasonable accommodation of design flexibility that results in an overall superior development and design consistent with the intent and principles of this subpart that govern the standard for which variation is requested; or
2. Whether the variation is appropriate to accommodate site conditions not anticipated in these regulations, or to reconcile conflicting requirements, provided the request is generally consistent with the intent and principles of this subpart that govern the standard for which variation is requested.

The second design variation requested is to allow no landscape island in a row of parking where required by code. The applicant is unable to provide this landscape island due to the roadway dedication required on Federal Highway which requires pushing the building and parking lot east, thereby reducing the available area for landscaping. The overall pervious area provided on the site meets code requirement.

## **SITE PLAN**

The proposed redevelopment includes a half acre site fronting on Federal Highway where the existing Dairy Belle is currently located, and the fifty (50) foot wide lot across the street on the east side of NW 1 Avenue. The two buildings, two-story project provides generous window fenestration, builds close to the street and provides mixed-uses with commercial on the ground floor and residential above. The project is meeting its requirement for landscaped pervious area and parking spaces. The architect has designed a building utilizing a metal roof and light blue building color, similar to the design provided in the Paul Demaio library.

This project is projected to generate more than twenty-five (25) peak hour trips which require a traffic study or participation in the Voluntary Mobility Program. The applicant has indicated its participation in the voluntary mobility program by providing the following items.

- Installation of pedestrian crossing signs on NW 1 Avenue to improve pedestrian safety.
- Shade trees will be planted along the sidewalks on NE 1 Street to provide a shaded pedestrian path.
- Existing water meters currently located in and adjacent to the sidewalk on Federal Highway are being removed to improve sidewalk quality.
- One (1) bicycle rack will be installed on the property.

This project is located within the RAC and requires the assignment of eight (8) residential garden apartment units and .38 acres of commercial (.76 acres/2 due to commercial on the ground floor and residential on the second floor) at a Floor Area Ratio (FAR) of .52 or less. This will result in a balance of 816 garden apartments remaining and 29.24 acres of commercial at FAR of .52 available in the RAC.

Outdoor dining is proposed within the footprint of the building in a large breezeway and therefore does not conflict with fire department or public pedestrian access. The outdoor dining component is proposed with a covered patio area which is permitted provided the outdoor furnishings are:

1. Consistent with the CRA Redevelopment guidelines;
2. Comply with fire department access requirements, and
3. Do not interfere with public pedestrian access.

The site plan was reviewed by the BSO Fire Marshal, City Engineer, the City's landscape consultant, Community Development and CRA staff. The applicant was able to address all of staff's landscape comments. The applicant must address the following comments prior to issuance of a building permit.

1. Must obtain approval from Broward County School Board prior to issuance of building permit of residential units (Community Development);
2. RIGHT-OF-WAYS: Provide recorded 5' r-o-w dedication as required prior to issuance of a building permit (Community Development);
3. SIGNS: provide copy of master sign program for the development for staff approval prior to issuance of a building permit (Community Development);
4. Revise plans to show location of new west property line (Community Development);
5. Provide "No Parking" signage along the south side of the satellite parking lot (Fire Marshal); and
6. Must demonstrate adequate water supply for the site (Fire Marshal).

The applicant is also proposing a super-graphic on the front façade of the south building. The code considers super-graphics as a special permitted use that are reviewed and approved by the Community Development Director under the following criteria:

- (1) The proposed general design, arrangement, texture, materials, colors, lighting, placement and the appropriateness of the proposed sign in relationship to other signs and the other structures both on the premises and in the surrounding areas, and only approve signs which are consistent with the intent, purposes, standards and criteria of the sign regulations.
- (2) The number of items (scenes, symbols, shapes) shall be consistent with the amount of information which can be comprehended by the viewer and avoid visual clutter.
- (3) The shape of the sign shall not create visual clutter.
- (4) The size, style and location of the sign shall be appropriate to the message.
- (5) The sign shall complement the building and adjacent buildings by being designed and placed to enhance the architecture.
- (6) The sign should be consolidated into a minimum number of elements.
- (7) The sign shall be proportional to the size and scale of the building upon which it is placed.
- (8) The decision to grant permission for a super-graphics sign shall not be based on the viewpoint or content of the proposed sign. Permitting for the sign shall be in accordance with Section 505-200 (signage review, approval process and fees) of this article.

This project is located in the CRA. The CRA Director recommendation will be presented at the public hearing.

#### **STAFF RECOMMENDATION**

##### **DESIGN VARIATION**

Modified Shop Front – Approve.

##### **SITE PLAN MODIFICATION**

Approve provided the design variance is approved and all staff comments are addressed prior to issuance of a building permit.



City of Dania Beach, Florida  
Department of Community Development  
Planning and Zoning Division  
(954) 924-6805 X3643  
(954) 922-2687 Fax

RECEIVED  
NOV 04 2011  
Planning Department

### Standard Development Application

- Administrative Variance
- Land Use Amendment
- Plat
- Rezoning
- Site Plan
- Special Exception
- Variance
- Other: \_\_\_\_\_

Date Rec'd: \_\_\_\_\_

Petition No.: SP-40-11  
VR-08-12

(SEE APPLICATION TYPE SCHEDULE ON PAGES 3 & 4)

**THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS.** Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

Location Address: 118 NORTH FEDERAL HIGHWAY

Lot(s): 15-16-17 18-19-20-43 Block: 11 Subdivision: \_\_\_\_\_

Recorded Plat Name: \_\_\_\_\_

Folio Number(s): 5042.34 01 1670 Legal Description: SEE SUBMITTED SURVEY PLAN

Applicant/Consultant/Legal Representative (circle one) SKYLAND PLAZA

Address of Applicant: 2734 POLK STREET UNIT F HOLLYWOOD FL 33020

Business Telephone: 954921-9006 Home: 954-805-8510 Fax: \_\_\_\_\_

E-mail address: JFGERVAIS @ ABSOLUTE-IDEA.COM

Name of Property Owner: SKYLAND PLAZA

Address of Property Owner: SEE ADDRESS OF APPLICANT

Business Telephone: \_\_\_\_\_ Home: \_\_\_\_\_ Fax: \_\_\_\_\_

Explanation of Request: SITE PLAN APPROVAL

For **Plats** please provide proposed **Plat Name** for **Variations** please attach **Criteria Statement** as per **Section 625.40 of the Land Development Code.** SEE SURVEY PLAN.

Prop. Net Acreage: \_\_\_\_\_ Gross Acreage: \_\_\_\_\_ Prop. Square Footage: \_\_\_\_\_

Existing Use: COMMERCIAL Proposed Use: COMMERCIAL + RESIDENTIAL

Is property owned individually, by a corporation, association, or a joint venture? CORPORATION

**AUTHORIZED REPRESENTATIVE**

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize IDEA (individual/firm) to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

STATE OF FLORIDA  
COUNTY OF BROWARD  
The foregoing instrument  
was acknowledged

By: Gilles Grenier  
(Owner / Agent signature\*)

BEFORE ME THIS 1<sup>ST</sup> DAY OF NOVEMBER, 20 11

By:

GILLES GRENIER  
(Print name of person acknowledging)

Gilles Grenier  
(Joint owner signature if applicable)

Notary Maria C. Bretton  
(Signature of Notary Public – State of FLORIDA)



Personally known \_\_\_\_\_ or Produced Identification

Type of identification produced: \_\_\_\_\_ or Drivers License G-656-220-47-099-0

**\*If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).**

**NO APPLICATION WILL BE AUTOMATICALLY SCHEDULED FOR A MEETING.**

**ALL APPLICATIONS MUST BE DETERMINED COMPLETE BY STAFF BEFORE PROCESSING OCCURS.**

**Lajoie, Corinne**

**From:** IDEA - Marie-Pierre Pare [mppare@absolute-idea.com]  
**Sent:** Thursday, February 16, 2012 1:02 PM  
**To:** dhuizenga@broward.org; Lajoie, Corinne; gilles@dairybelleicecream.com; martin@civil-engineer.us  
**Cc:** IDEA - Stéphane L'Écuyer; IDEA - Jean-Francois Gervais; Francois@dairybelleicecream.com; isabelle@dairybelleicecream.com; gillesritane@gmail.com  
**Subject:** 10-594US - Skyland Plaza - Meeting with the Highway and Engineering Division - Broward County

Dear all,

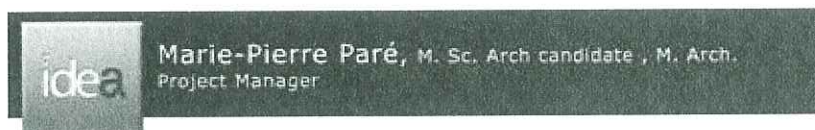
This to confirm what was discussed at our meeting on Wednesday February 15<sup>th</sup> 9h30 am with David Huizenga from the Highway Construction and Engineering Division of Broward County.

Present to the meeting:

- Corinne Lajoie - Planning and Zoning of Dania Beach
- Gilles Grenier - Owner
- Martin Pilote - Civil Engineer - Globe Engineering
- David Huizenga - Highway Construction and Engineering Division
- Marie-Pierre Pare - IDEA

1. David Huizenga explained their future project to modify the US 1. At our location in Dania Beach, the Highway Construction and Engineering Division request therefore for any new construction to respect a setback of 5' on the East side of US 1.
2. David Huizenga also confirmed that the request from the FDOT to give a setback from US1 of 3'-2" for Building 1 can be included into the 5' setback.

Best regards,



**INTERNATIONAL DESIGN , ENGINEERING & ARCHITECTURE**

**IDEA**

One Aventura Executive Center, 20900 NE 30th Ave., Suite 914, Aventura, FL 33180

Tel: 305.792.0015

Fax: 305.931.0279

Email: [mppare@absolute-idea.com](mailto:mppare@absolute-idea.com)

Web: [www.absolute-idea.com](http://www.absolute-idea.com)

{ **our idea is absolute engineering** }



Florida Department of Transportation

RICK SCOTT GOVERNOR

3400 West Commercial Boulevard Fort Lauderdale, FL 33309

ANANTH PRASAD, P.E. SECRETARY



January 19, 2012

THIS PRE-APPLICATION LETTER IS VALID UNTIL JANUARY 19, 2013 THIS LETTER IS NOT A PERMIT APPROVAL

Mr. Martin Pilote, P.E. Globe Engineering Inc. 4839 Southwest 148 Avenue, Suite 507 Fort Lauderdale, Florida 33330

Dear Mr. Pilote:

RE: January 19, 2012 Pre-application Meeting for Category D Driveway Broward County, Urban In the City of Dania Beach State Road: 5; State Section 86010, Milepost 0.825, Access Class 6, Posted Speed: 35 mph, Reference Project 428726-1, Location: US 1, 165 feet north of Northeast 1st Street Site Acreage: 0.64, Proposed Land Use and Maximum Square Footage: 15,000 Retail, 2,000 Restaurant Plat Name: Town of Modelo, Plat Book: 1, Page: 5 Applicant: Skyland Plaza, LLC, Property Owner: Skyland Plaza, LLC Proposed Project Name & Address: Skyland Plaza, LLC, 118 North Federal Highway, Dania Beach, Florida

Your Request: To close 2 existing right-in, right-out driveways located approximately 160 feet and 200 north of NE 1st Street.

A right-in, right-out driveway 165 feet north NE 1st Street.

WE APPROVE YOUR REQUEST. Please see the conditions and comments below.

This ruling is based on your presentation of the facts, site plan and survey.

Conditions: A minimum driveway length of 25 feet, as measured from the ultimate right-of-way line to the first conflict point, shall be provided for ingress traffic. The driveway shall be channelize with pavement marking and include a right turn only sign to prevent left turn movement to enter and exit the property. Sight distance for right turn outbound movement must be met for northbound US 1 traffic only. Drainage mitigation is required for any impacts within FDOT right-of-way (i.e. increased runoff or reduction of existing storage). A Storm Water Pollution Prevention Plan must be submitted with the application if there will be more than one acre of "disturbed area" (as defined by the Florida Department of Environmental Protection (FDEP)). If right-of-way dedication is required to implement the proposed improvements, the applicant shall donate the right-of-way to the Department. All driveways not approved in this letter must be fully removed and the area restored. Comments: Please note that the dimensions between driveways are measured from the near edge of pavement to near edge of pavement and dimensions between median openings are measured from centerline to centerline unless otherwise indicated.

The purpose of this Pre-Application letter is to document the conceptual review of the approximate location of driveway(s) to the State Highway system and to note any required improvements. This letter shall be submitted with any further reviews. If conceptually approved, the applicant may submit engineering plans to the Department for permitting. The Department's personnel shall review these plans for compliance with this letter as well as current Department standards and/or specifications. Final design must consider the existing roadway profile and any impacts to the existing drainage system. Please note that this letter does not guarantee permit approval. The permit may be denied based on the review of the submitted engineering plans. Be aware that any approved median openings may be modified (or closed) in the future, at the sole discretion of the Department.

For right-of-way dedication requirements go to: http://www.dot.state.fl.us/statemaintenanceoffice/District4PermitInformation.shm; Scroll down to Additional Information and Examples and choose Right-of-way Donations/Dedications.

Please contact Christine Nabong Bacomo at the District Permits Office with any questions at telephone number 954-777-4377, fax number 954-677-7893 or e-mail: christine.bacomo@dot.state.fl.us. Thank you.

Sincerely,

FOR -> Stan Williams Christine Nabong Bacomo, P.E. District Permits Engineer

CNB/nyh Geysa Sosa/Stan Williams s:\Permits\Pre-app Letters\Broward\ Skyland Plaza, LLC - SR 5.doc

**SURFACE WATER MANAGEMENT CALCULATIONS**

1/23/2012

for  
**Skyland Plaza**  
**118 N. Federal Highway**  
**Dania Beach, Florida**  
**west side of N.E. 1 Avenue**



date: 01/20/11

**1) PROPOSED LAND USE**

PROJECT PHASE	PHASE AREA (ACRES)		BUILDING (ACRES)		PARKING AND WALKWAYS (ACRES)		GREEN (ACRES)	
Proposed	0.64	100.00%	0.19	29.56%	0.34	53.70%	0.1072	
<b>TOTAL</b>	<b>0.64</b>	<b>100.00%</b>	<b>0.19</b>	<b>29.56%</b>	<b>0.34</b>	<b>53.70%</b>	<b>0.11</b>	<b>16.74%</b>

Site Area.....	0.64	acres	Lake area.....	0.00	acres
Off-site Area.....	0.64	acres	Lake t.o.b. elev.....	0.00	ngvd
Net Area.....	1.28	acres	Lake t.o.b. area.....	0.00	acres
Building Area.....	0.19	acres	Wet area.....	0.00	acres
Paved Area.....	0.34	acres	Wet t.o.b. elev.....	0.00	ngvd
Green Area.....	0.11	acres	Wet t.o.b. area.....	0.00	acres
			16.74	%	

**2) WATER QUALITY REQUIREMENTS**

i) Based on the first 1" of runoff

Site area.....	0.64	acres
Required detention.....	0.05	acre ft.

ii) Based on 2.5 inches times percent impervious

Site area.....	1.09	acres (Excluding building areas & lake)
Impervious area.....	0.98	acres (Excluding building areas & lake)
Percent impervious.....	90.18	%
Required detention.....	0.133	acre ft.

Therefore the required detention is..... 0.133 acre ft. = 1.60 acre-in

**3) REQUIRED LENGTH OF EXFILTRATION TRENCH**

Volume treated (V).....	1.60	acre-in
Trench Width (W).....	6.00	feet
Avg hydraulic Conductivity (k).....	6.96E-05	cfs/sf-ft.head
Depth to water table (H2).....	6.90	feet
Non-saturated trench depth (Du).....	6.00	feet
Saturated trench depth (Ds).....	0.00	feet
Length of exfiltration trench req'd.....	143.6	feet
Length of exfiltration trench prov'd....	197	feet



Martin Pilote, PE  
 Fla. PE #55992  
 for Globe Engineering, Inc.  
 4839 SW 148 Avenue, Suite 507  
 Fort Lauderdale, FL 33330  
 P: 954-316-7628  
 fbpe ca #8604



**SURFACE WATER MANAGEMENT CALCULATIONS**

1/23/2012

**for  
Skyland Plaza  
118 N. Federal Highway  
Dania Beach, Florida  
east side of N.E. 1 Avenue**

date: 01/20/11

**1) PROPOSED LAND USE**

PROJECT PHASE	PHASE AREA (ACRES)		BUILDING (ACRES)		PARKING AND WALKWAYS (ACRES)		GREEN (ACRES)	
Existing	0.00	#DIV/0!	0.00	#DIV/0!	0.00	#DIV/0!	0.0000	
Proposed	0.12	100.00%	0.00	0.00%	0.09	69.71%	0.0377	30.29%
<b>TOTAL</b>	<b>0.12</b>	<b>100.00%</b>	<b>0.00</b>	<b>0.00%</b>	<b>0.09</b>	<b>69.71%</b>	<b>0.04</b>	<b>30.29%</b>

Site Area.....	0.00	acres	Lake area.....	0.00	acres
Off-site Area.....	0.12	acres	Lake t.o.b. elev.....	0.00	ngvd
Net Area.....	0.12	acres	Lake t.o.b. area.....	0.00	acres
Building Area.....	0.00	acres	Wet area.....	0.00	acres
Paved Area.....	0.09	acres	Wet t.o.b. elev.....	0.00	ngvd
Green Area.....	0.04	acres	Wet t.o.b. area.....	0.00	acres
				30.29	%

**2) WATER QUALITY REQUIREMENTS**

i) Based on the first 1" of runoff

Site area.....	0.12	acres
Required detention.....	0.0104	acre ft.

ii) Based on 2.5 inches times percent impervious

Site area.....	0.12	acres (Excluding building areas & lake)
Impervious area.....	0.09	acres (Excluding building areas & lake)
Percent impervious.....	69.71	%
Required detention.....	0.026	acre ft.

Therefore the required detention is..... 0.026 acre ft. = 0.31 acre-in

**3) REQUIRED LENGTH OF EXFILTRATION TRENCH**

Volume treated (V).....	0.31	acre-in
Trench Width (W).....	6.00	feet
Avg hydraulic Conductivity (k).....	9.36E-03	cfs/sf-ft.head
Depth to water table (H2).....	4.35	feet
Non-saturated trench depth (Du).....	3.35	feet
Saturated trench depth (Ds).....	2.65	feet
Length of exfiltration trench req'd.....	0.5	feet
Length of exfiltration trench prov'd....	74	feet



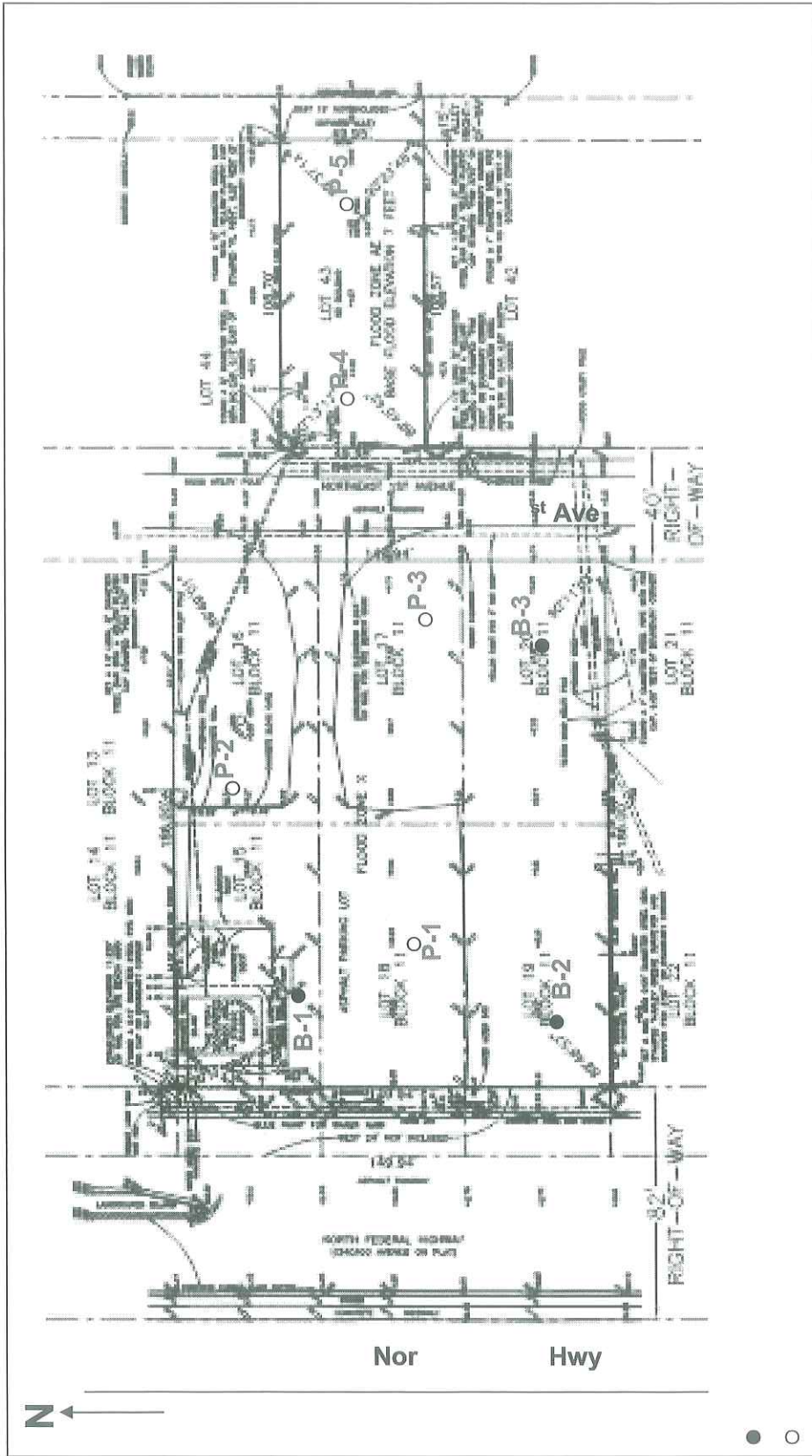
Martin Pilote, PE  
 Fla. PE #55992  
 for Globe Engineering, Inc.  
 4839 SW 148 Avenue, Suite 507  
 Fort Lauderdale, FL 33330  
 P: 954-316-7628  
 fbpe ca #8604

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No.	(gpm)	(CFS)	Diameter (Inches)	Depth (Feet)	Watertable (Feet)	Conductivity (CFS/ft**2-ft)	lic Conductivity (ft/day-ft)
		3	6	10.0	8.6	7.08E-05	6.1
		3	6	10.0	8.6	7.36E-05	6.4
		3	6	10.0	7.8	6.43E-05	5.6
		2	6	10.0	6.5	1.52E-04	13.2
		3	6	10.0	6.0	1.19E-04	10.3

Notes:

**QUEST**



<b>QUEST</b>	th Street	Project:	Skyland Plaza	
			Client:	Scale NTS
Drawn				

# SKYLAND PLAZA

118 N. Federal Highway, Dania Beach, FL 33004

10-594US

01-23-2012

Issued for PLANNING & ZONING

## Drawing index:

ARCHITECTURAL, CIVIL & LANDSCAPE DRAWINGS (24"X36")	NAME	REQUIREMENT	ISSUED:		DATE
			DATE	BY	
COVER	PROJECT TITLE & DRAWING LIST		✓		02/21/12
SP-1	ZONING INFORMATION AND PROJECT DATA		✓		02/21/12
Survey	ORIGINAL SURVEY		✓		02/21/12
SP-2	SITE PLAN - ROOF PLAN		✓		02/21/12
SP-3	SITE PLAN - GROUND FLOOR PLAN		✓		02/21/12
C-1	WATER, SEWER, FAYING AND DRAINAGE		✓		02/21/12
C-2	PAVEMENT MARKINGS AND SIGNAGE		✓		02/21/12
C-3	CIVIL ENGINEERING DETAILS		✓		02/21/12
L-1	LANDSCAPE PLAN		✓		02/21/12
L-2	EXISTING TREE DISPOSITION PLAN		✓		02/21/12
L-3	LANDSCAPE DETAILS AND SPECIFICATIONS		✓		02/21/12
SP-4	GROUND FLOOR PLANS		✓		02/21/12
SP-5	SECOND FLOOR PLANS		✓		02/21/12
SP-6	BUILDING A ELEVATIONS		✓		02/21/12
SP-7	BUILDING B ELEVATIONS AND CROSS SECTION		✓		02/21/12
SP-8	CROSS AND LONGITUDINAL SECTIONS		✓		02/21/12
SP-9	COLOR ELEVATIONS		✓		02/21/12
SP-10	COLOR PERSPECTIVES		✓		02/21/12
SP-11	PHOTOMETRIC PLAN		✓		02/21/12
SP-12	EXTERIOR LIGHTING FIXTURES DETAILS		✓		02/21/12
SP-13	EXTERIOR LIGHTING FIXTURES DETAILS		✓		02/21/12
SP-14	DETAILS		✓		02/21/12
<b>ADDITIONAL DOCUMENTS:</b>					
	FIRE FLOW REQUIREMENT FOR BUILDINGS		✓		02/21/12
	WATER SUPPLY - HYDRANT FLOW TEST		✓		02/21/12
	CD ZIP FILE CONTAINING ALL SHEETS		✓		02/21/12
	RESPONSE NARRATIVE TO MOBILITY PROGRAM		✓		02/21/12
	CRITERIA STATEMENT FOR VARIANCE		✓		02/21/12
	RESPONSE NARRATIVE TO SITE PLAN REVIEW COMMENTS		✓		02/21/12
	FDOT PRE-APPLICATION LETTER		✓		02/21/12
	LETTER FOR VARIATIONS IN DESIGN		✓		02/21/12



PERSPECTIVE FROM FEDERAL HIGHWAY

**RECEIVED**  
FEB 22 2012  
Planning Department

International

a

architecture  
International Design Engineering & Architecture  
One Aventura Executive Center  
20900 NE 30th Ave. Suite 514  
Aventura, FL 33180  
Tel: 305.792.00153  
info@absolute-idea.com  
www.absolute-idea.com

**GLOBE ENGINEERING, INC.**  
WWW.CIVIL-ENGINEER.US

4839 SW 148 Avenue, Suite 507  
Fort Lauderdale, FL 33330  
Ph: 954-316-7628  
FBPE CA# 8604

**MarkTinkler**  
LANDSCAPE ARCHITECTURE  
EST. 1971

Land Planning, Landscape Architecture  
d. 305.965.3183  
f. 305.759.0182  
w. www.tinklerinc.com

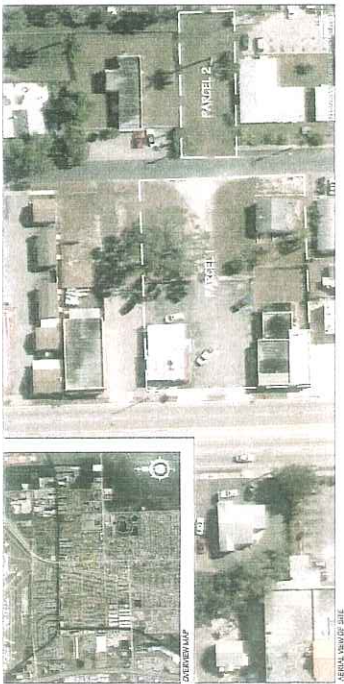
a

ABSOLUTE-IDEA.COM  
118 N. FEDERAL HIGHWAY  
SUITE 514  
AVENTURA, FL 33180  
TEL: 305.792.00153  
WWW.ABSOLUTE-IDEA.COM

92-21-7612

a

1 AERIAL IMAGES



AIRIAL VIEW OF SITE

2 GENERAL SITE INFORMATION

LOT SIZE	PARCEL 1: 27,899.0 SQ. FT. PARCEL 2: 5,427.9 SQ. FT. (TOTAL PARCEL 1 AND 2: 33,326.9 SQ. FT.)
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DESCRIPTION	CODE OF ORDINANCE	REQUIRED OR ALLOWED	PROVIDED
ZONING	CC CITY CENTER DISTRICT - MIXED USE	PROPERTY IS OUTSIDE CITY CENTER CODE	
DENSITY	MAX. 50 DWELLING UNITS/ACRE BY RIGHT; 100 DWELLING UNITS/ACRE WITH DENSITY BONUS (SEE ARTICLE 509)	PART 3, SUBPART 1 ARTICLE 509-40	0
F.A.R.	MAX. 8.0 (F.A.R. MEANS THE GROSS FLOOR AREA OF ALL BUILDINGS ON A LOT EXPRESSED IN SQUARE FEET, DIVIDED BY THE NET LOT AREA EXPRESSED IN SQUARE FEET).	PART 3, SUBPART 1 ARTICLE 509-40	13,859 / 33,326.9 = 0.42
MIN. REQ'D PERIODS LANDSCAPED LOT AREA	10% MAY BE REDUCED TO 0% WITH INCENTIVE BONUS (SEE ARTICLE 309). SEC. 309-309(1)(4) PROVISIONS FOR PAYMENT "IN-LIEU"	PART 3, SUBPART 1 ARTICLE 309-40	15% 6,156 (23,316 SF)
MIN. REQ'D LANDSCAPING	VIA LANDSCAPE AREA SHALL NOT BE LESS THAN 20% OF THE TOTAL VEHICULAR USABLE AREA	(LANDSCAPE SEC. 275-100)	32% VIA 18,000 SF LANDSCAPING = 5,156 SF
MINIMUM LIVING AREAS	GIVE BEDROOM: 750 SQ. FT. TWO BEDROOM: 900 SQ. FT. THREE BEDROOM: 1,150 SQ. FT. OVER THREE BEDROOMS: 1,500 SQ. FT., PLUS 150 SQ. FT. FOR EACH ADDITIONAL BEDROOM. EFFICIENT OR STUDIO APARTMENTS (NO BEDROOMS): 600 SQ. FT.	PART 2, ARTICLE 250-40	887,526,500K
OUTDOOR SEATING AREA	OUTDOOR SEATING IS PERMITTED AS AN ACCESSORY USE TO AN INDOOR RESTAURANT OR BAR, PROVIDED AT LEAST FIVE (5) INCHES (500) SQUARE FEET OF GROSS FLOOR AREA. OUTDOOR SEATING REQUIRES ITS OWN CERTIFICATE OF USE.	PART 1, ARTICLE 10-200	

3 SETBACKS

DESCRIPTION	VALUE
FRONT	SHOPFRONT: 0'-5" SHOP: 4'-5" DOOR/YARD: 8'-12" BALCONY OVER PORCH: 8'-12"
INTERIOR SIDE	0' MIN.
INTERIOR SIDE 1ST LAYER	0' MIN.
INTERIOR SIDE 2ND LAYER	0' MIN.
REAR	10' MIN.

4 BUILDING FRONTAGE STANDARDS

DESCRIPTION	VALUE	REQUIRED	PROVIDED
LINEAR	30 FT. - MIN. DEPTH OF BUILDING IN 1ST LAYER	30 FT.	30 FT. MIN.
	70% OF LOT WIDTH FOR WHICH A FACADE MUST BE ON THE DTL.	150' X 70% = 105 FT.	105 FT.
	10 FT. MAX. ALLOWABLE RECESS FROM DTL. (BTL = BUILD TO LINE)	10 FT.	NA

5 HEIGHT RESTRICTIONS

DESCRIPTION	VALUE	ORDINANCE
HEIGHT	(7) STORIES, (60 FT) BY RIGHT BUT VARIES BY LOCATION SINCE THE LOT IS AFFECTED BY TWO DIFFERENT HEIGHT RESTRICTIONS, THE FOLLOWING SHALL APPLY: 1. WESTERN PORTION OF THE LOT IS ALLOWED (7) STORIES, (60 FT) BY RIGHT AND UP TO AN ADDITIONAL (7) STORIES, (90 FT) WITH INCENTIVES. 2. WHERE A STREET CENTERLINE FORMS THE BOUNDARY BETWEEN A HEIGHT BUREAU/CDD RESIDENTIAL DISTRICT AND A MIXED-USE DISTRICT, THE FOLLOWING STANDARDS SHALL APPLY TO ANY LOT WITHIN THE MIXED-USE DISTRICT THAT ADJUTS THE BOUNDARY STREET: a. BUILDINGS TYPE MUST EITHER BE RESIDENTIAL, APARTMENT, OR RESIDENCE BUILDING. b. THE HEIGHT OF THE BUILDING SHALL BE EXACTLY (2) STORIES NOT TO EXCEED (25 FT) IN HEIGHT FOR THE FIRST (50 FT) MEASURED FROM THE DTL. c. (3) STORIES OR (30 FT) OF BLDG. HEIGHT IS PERMITTED, AND PERMITTED HEIGHT SHALL INCREASE BY (1) FT FOR EACH ADDITIONAL ONE (1) FOOT OF HORIZONTAL DISTANCE MEASURED PERPENDICULAR FROM THE DTL.	SEC. 309-30 HEIGHT ZONES MAP SEC. 304-30 (C)

6 PARKING DATA

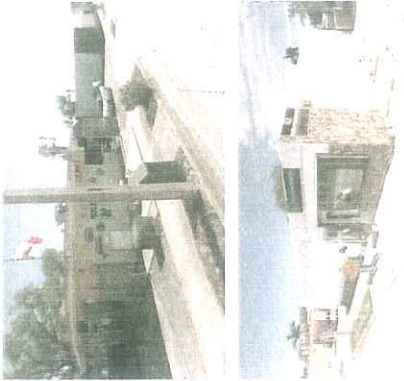
DESCRIPTION	VALUE	ORDINANCE	REQUIRED	PROVIDED
(#8) MULTI-FAMILY DWELLING	FREQUENCY = 1/100 ONE BEDROOM = 1.25 / DU TWO OR MORE = 1.75 / DU MORE THAN 10 UNITS, THEN 1 PER 8 UNITS (MARKED AS GUEST PARKING)	PART 2, ARTICLE 265-50	(8 DU) (25) = 75 SPACES 3.5 SPACES	11 PKNG. SPACES
(#19) RESTAURANT, FAST FOOD	(1) SPACE FOR 60 SF OF USA (CUSTOMER SERVICE AREA) PLUS PLUS (1) PER 300 SF OF REMAINING GFA AND OUTDOOR SEATING AREA.	(60) (7) (60) = 4200 SF 2,249 / 300 = 7.49 19 PKNG. SPACES 3,492 / 300 = 11.64 15 PKNG. SPACES	19 PKNG. SPACES 15 PKNG. SPACES	19 PKNG. SPACES
(#2) RETAIL UNDER 40,000 SF OF GFA	(1) PER 300 SF	PART 2, ARTICLE 265-50	15 PKNG. SPACES	15 PKNG. SPACES
LOADING	4,000 SQ. FT. = 25,000 SQ. FT. = 11 LOADING SPACE 25,000 SQ. FT. = 40,000 SQ. FT. = 2 LOADING SPACE	PART 2, ARTICLE 265-50	11 LOADING SPACE	11 LOADING SPACE

CUSTOMER SERVICE AREA: AN AREA DEVOTED TO A CUSTOMER LOBBY, WAITING AREA, FOOD OR BEVERAGE SERVICE OR CONSUMPTION, CUSTOMER LINE CHANGING, SELF-HELP COMPUTER TERMINALS OR KIOSK STATIONS, INFORMATION KIOSK OR COMPUTER, CUSTOMER SERVICE DESK INCLUDING THE SUPPORT AREA BEHIND THE COUNTER NOT OTHERWISE CLASSIFIED. THE VALUES IN THE SHARED PARKING SCHEDULE, IT WAS CONCLUDED THAT THE TOTAL VALUE WAS THE SAME AS THE REQUIRED PARKING COUNT.

7 PARKING DATA (CONTD.)

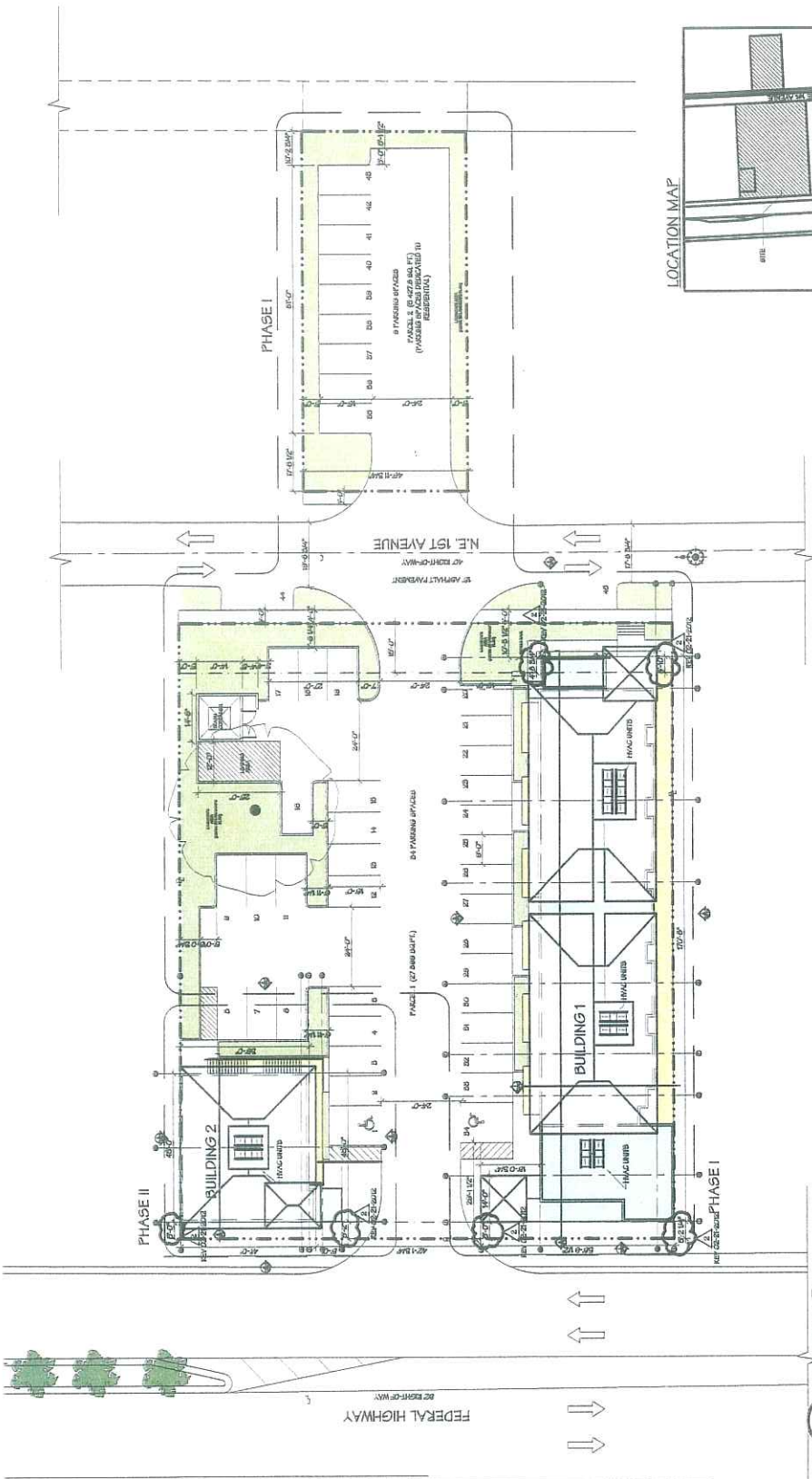
DESCRIPTION	VALUE	ORDINANCE
STALL DIMENSIONS	8' 0" WIDE, 18' 0" LONG (90 DEGREE PARKING ANGLE)	SEC. 265-20
ASLE DIMENSIONS	34' 0" WIDE (80 DEGREE PARKING ANGLE)	SEC. 265-10
LOADING	12' 0" WIDE X 25' 0" LONG, WITH A 14-FOOT VERTICAL CLEARANCE	SEC. 270-10
ADA	12' 0" X 20' 0" W/ 60° ASLE	SEC. 265-10
STACKING	WHEN A ROW OF PARKING STALLS IS IMMEDIATELY ADJACENT TO A DRIVEWAY, A MINIMUM STACKING HEIGHT OF 10 FEET SHALL BE MAINTAINED BETWEEN THE PARKING LINE AND THE ENTRANCE TO THE FIRST STALL.	SEC. 265-10 (C)(6)

8 SITE PHOTOGRAPHS (EXISTING)

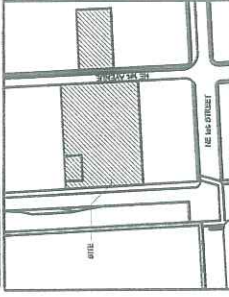


9 DISCLAIMER

ZONING INFORMATION ON THIS DOCUMENT IS BASED ON THE CITY CENTER DISTRICT UNLESS OTHERWISE NOTED.  
ALL INFORMATION HAS BEEN OBTAINED FROM THE FOLLOWING SOURCES:  
1. CITY OF DANIA BEACH, FL LAND DEVELOPMENT CODE  
2. CITY OF DANIA BEACH, FL CODE OF ORDINANCES



LOCATION MAP




  
 ARCHITECTURAL & ENGINEERING  
 WWW.ARCUTECH.COM

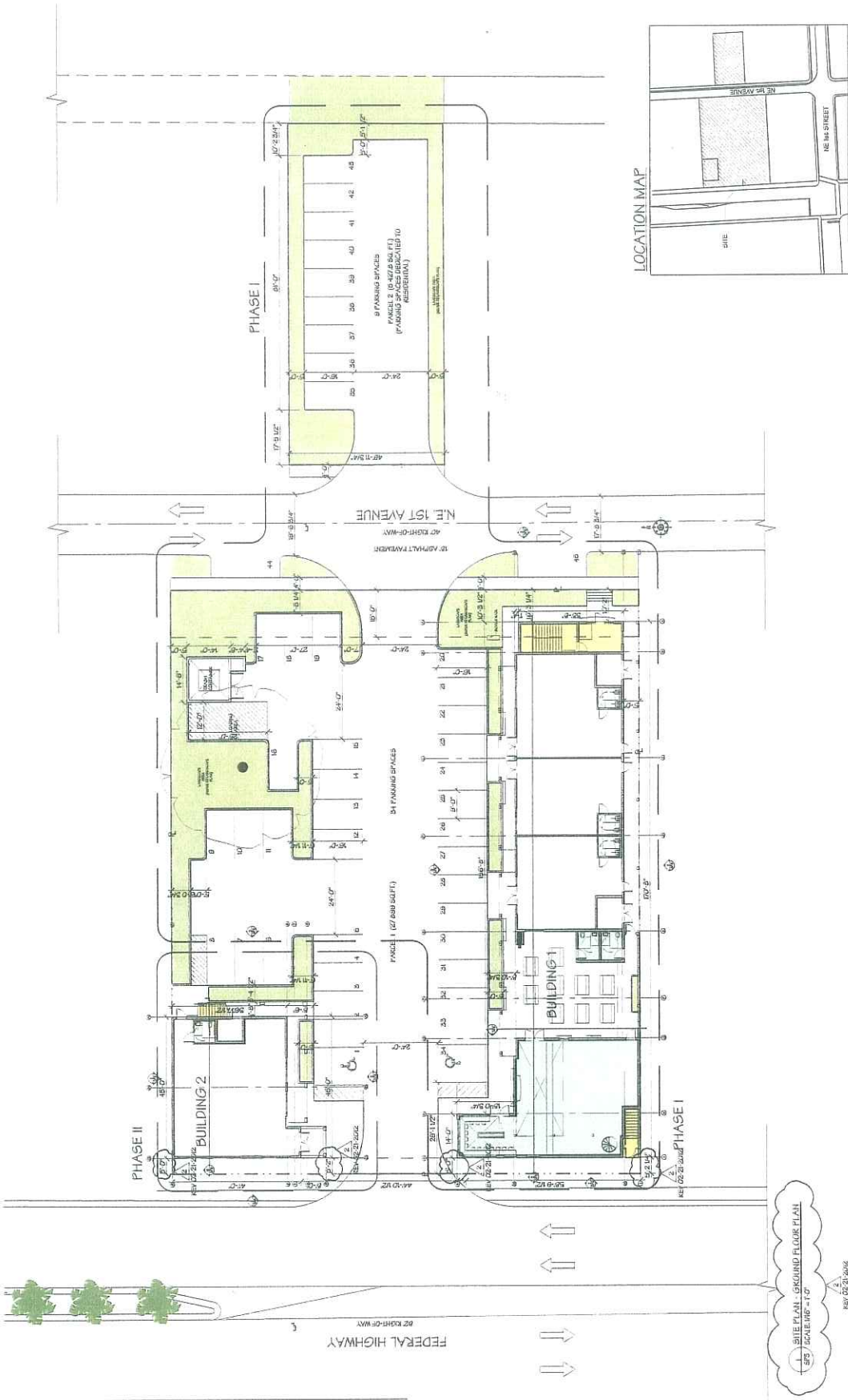
**SITE PLAN**  
 Site plan - Roof plan

**SKYLAND PLAZA**  
 118 N. Federal Highway, Dania Beach, FL 33004 10-59AUS

Scale: 1/16" = 1'-0" Date: 01-23-2012

a

Sheet: SP2



REV 02/21/2012

118 N. Federal Highway, Dania Beach, FL 33004

10-594JUS

SKYLAND PLAZA

Site plan - Ground floor plan

SITE PLAN

www.absolute-idea.com

03/21/12

Sheet: SP3

118 N. Federal Highway, Dania Beach, FL 33004

10-594JUS

SKYLAND PLAZA

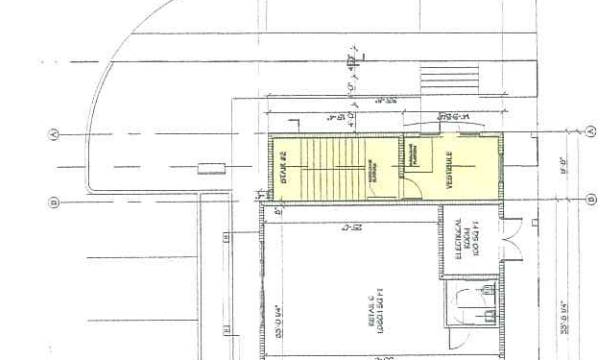
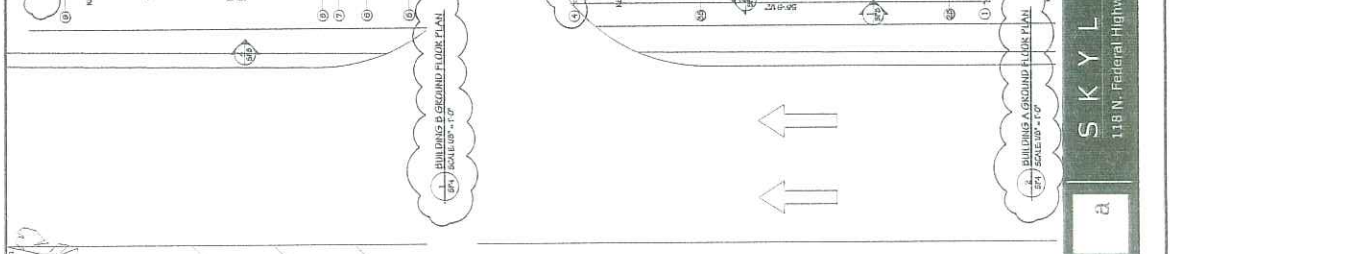
Site plan - Ground floor plan

SITE PLAN

www.absolute-idea.com

03/21/12

Sheet: SP3



- LEGEND:**
- RESTAURANT FOR FOOD
  - RESTROOMS BARRIER TRACE
  - REIN
  - MECHANICAL/ELECTRICAL/SYMBOLS
  - ASBESTOS/HAZARDOUS
  - DRINKING WATER
  - REINFORCING
  - RESISTIVE PRIVATE WALLS

18' ASPHALT  
40' RIGH  
N. FT. 151

**FLOOR PLANS**  
Ground floor plans  
Scale: 1/8" = 1'-0"  
Date: 01-23-2012

**SKYLAND PLAZA**  
118 N. Federal Highway, Dania Beach, FL 33004 10-594US

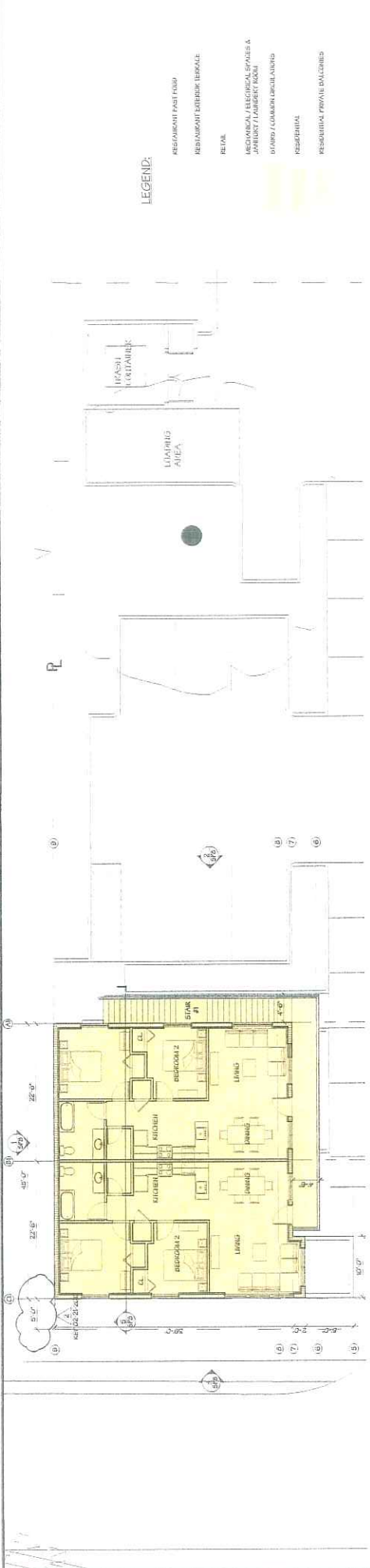
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Sheet: SP4

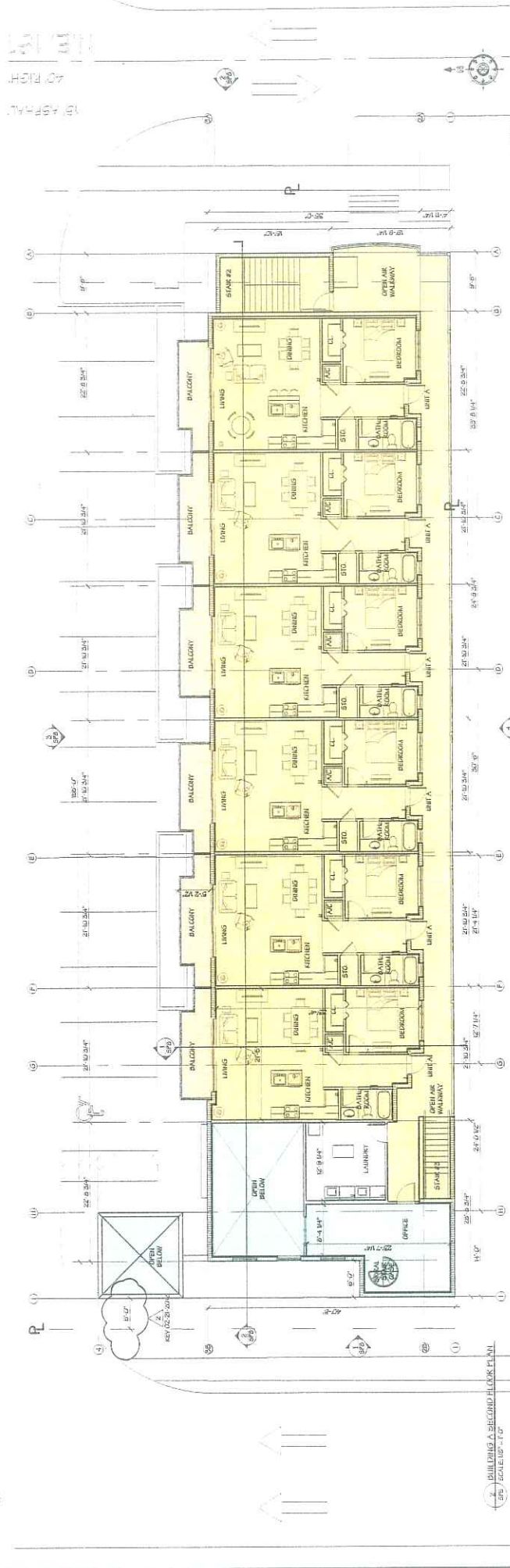


**LEGEND:**

- RESIDENTIAL FIRST FLOOR
- RESTAURANT/ENTERTAINMENT AREAS
- RETAIL
- MEDICAL/RESIDENTIAL SPACES & JANITORY/LABORATORY ROOM
- COMMON CIRCULATION
- RESIDENTIAL
- RESIDENTIAL PRIVATE BALCONIES



BUILDING B SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"

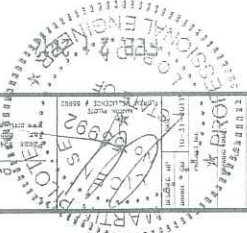


BUILDING A SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"

SKYLINE ARCHITECTURE, INC.
   
 118 N. FEDERAL HIGHWAY, DANIA BEACH, FL 33004
   
 WWW.SKYLINE-ARCHITECTURE.COM

**SKYLAND PLAZA**
  
 118 N. Federal Highway, Dania Beach, FL 33004 10-594US
   
**FLOOR PLANS**
  
 Second floor plans
   
 Scale: 1/8" = 1'-0" Date: 01-23-2012
   
 Sheet: SP5

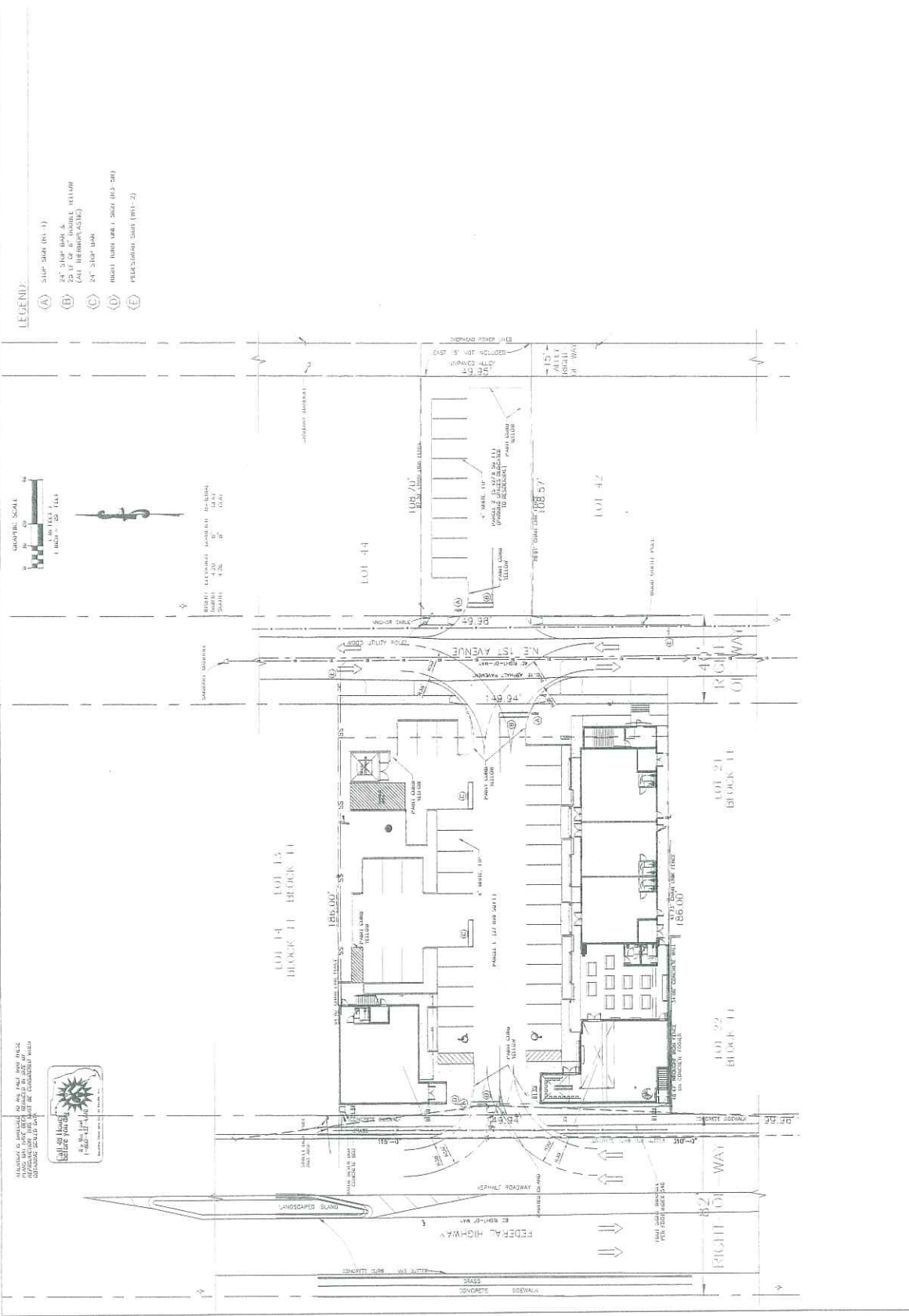




**Globe Engineering, Inc.**  
 Civil Engineering - Planning - Construction Management  
 4835 S.W. 136 Avenue  
 Suite 500  
 Fort Lauderdale, FL 33308  
 Phone: (954) 465-7700  
 Fax: (954) 465-7702  
 Certificate of Authorization No. 6004

**PAVEMENT MARKINGS AND SIGNAGE**  
 118 N. FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA  
**SKYLAND PLAZA**

NO.	REVISION
1	01-20-11: IMPROVED PAVEMENT DESIGN OF T & W
2	01-20-11: IMPROVED PAVEMENT DESIGN OF T & W
3	01-20-11: IMPROVED PAVEMENT DESIGN OF T & W



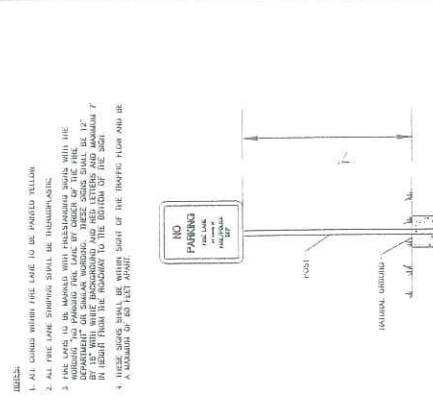
THIS PLAN IS PREPARED BY GLOBE ENGINEERING, INC. FOR THE PROJECT DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



REV	DATE	DESCRIPTION
1	11-17-2017	ISSUE FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

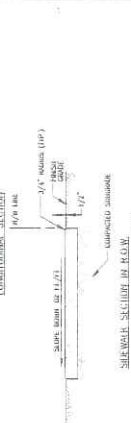
**SKYLAND PLAZA**  
 118 N. FEDERAL HIGHWAY  
 DANIA BEACH, FLORIDA  
 CIVIL ENGINEERING DETAILS

Shlobe Engineering, Inc.  
 Civil Engineering - Planning - Construction Management  
 4526 S.W. 146 AVENUE  
 PORT LANDERDALE, FL 33586  
 Certificate of Authorization No. 0004  
 LICENSE NO. 15274-CE  
 STATE OF FLORIDA



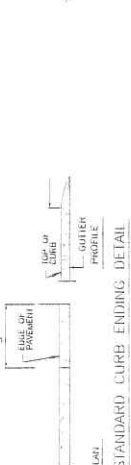
**NOTES:**

- NO PARKING SIGN SHALL BE MOUNTED WITH THE SIGN FACE TO THE SIDE OF THE ROAD.
- ALL SIGN POSTS SHALL BE MOUNTED WITH THE SIGN FACE TO THE SIDE OF THE ROAD.
- ALL SIGN POSTS SHALL BE MOUNTED WITH THE SIGN FACE TO THE SIDE OF THE ROAD.
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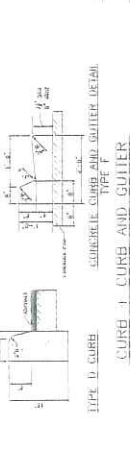
**NOTES:**

- 18" CONC. CURB WITH 1 1/2" CONC. FINISH.
- 12" CONC. TOP WITH 1 1/2" CONC. FINISH.
- 12" CONC. BOTTOM WITH 1 1/2" CONC. FINISH.
- 12" CONC. WALL WITH 1 1/2" CONC. FINISH.



**NOTES:**

- 1/2" CONC. CURB WITH 1 1/2" CONC. FINISH.
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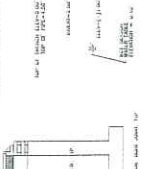
**NOTES:**

- 30" X 30" SIGN WITH 1 1/2" CONC. FINISH.
- 1/2" CONC. TOP WITH 1 1/2" CONC. FINISH.
- 1/2" CONC. BOTTOM WITH 1 1/2" CONC. FINISH.
- 1/2" CONC. WALL WITH 1 1/2" CONC. FINISH.



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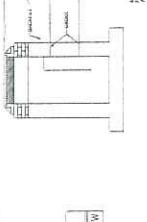
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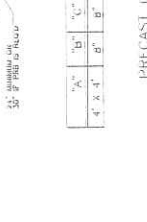
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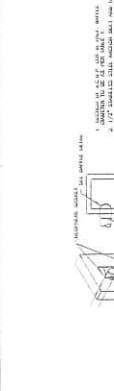
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- 1/2" CONC. WALL WITH 1 1/2" CONC. FINISH.



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- 1/2" CONC. BOTTOM WITH 1 1/2" CONC. FINISH.
- 1/2" CONC. WALL WITH 1 1/2" CONC. FINISH.



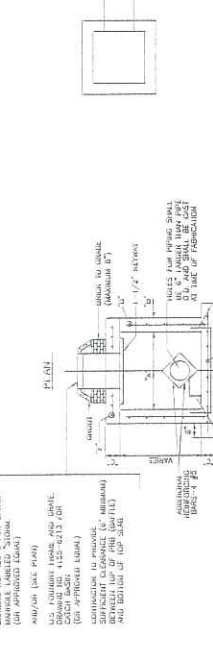
**NOTES:**

- BRACKET SHALL BE MOUNTED WITH THE BRACKET FACE TO THE SIDE OF THE ROAD.
- BRACKET SHALL BE MOUNTED WITH THE BRACKET FACE TO THE SIDE OF THE ROAD.
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**NOTES:**

- P-R-B SHALL BE MOUNTED WITH THE P-R-B FACE TO THE SIDE OF THE ROAD.
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**NOTES:**

- 18" CONC. CURB WITH 1 1/2" CONC. FINISH.
- 12" CONC. TOP WITH 1 1/2" CONC. FINISH.
- 12" CONC. BOTTOM WITH 1 1/2" CONC. FINISH.
- 12" CONC. WALL WITH 1 1/2" CONC. FINISH.



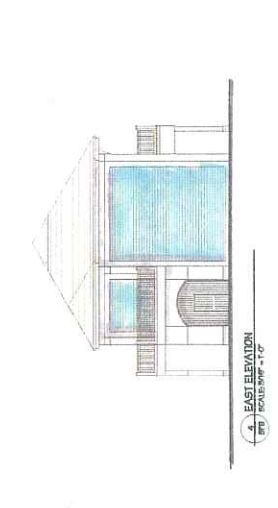
WEST ELEVATION  
PTB / ROAD SWP - 1'0"



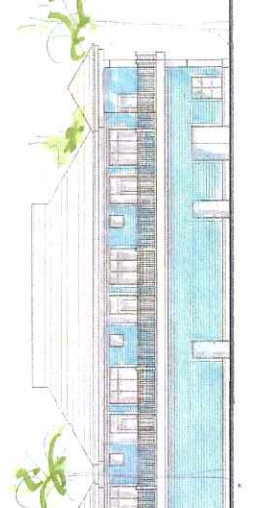
NORTH ELEVATION  
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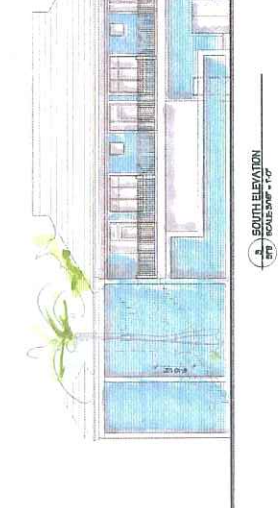
SOUTH ELEVATION  
PTB / ROAD SWP - 1'0"



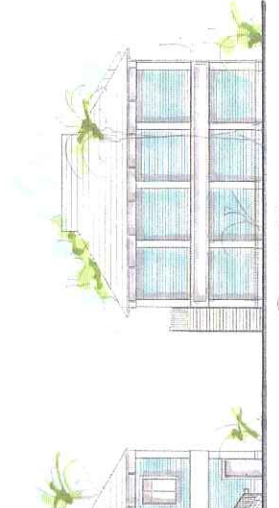
EAST ELEVATION  
PTB / ROAD SWP - 1'0"



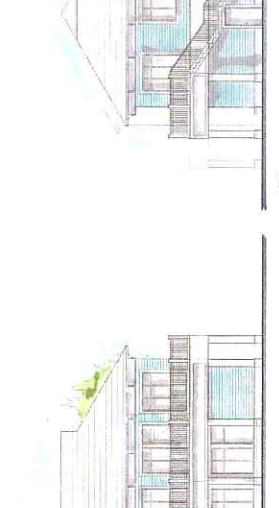
WEST ELEVATION  
PTB / ROAD SWP - 1'0"



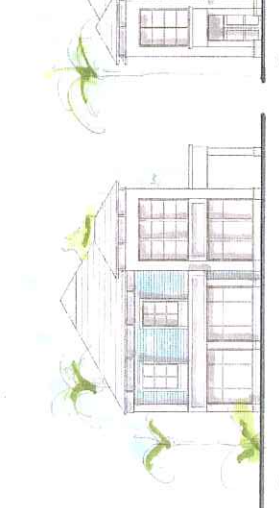
NORTH ELEVATION  
PTB / ROAD SWP - 1'0"



EAST ELEVATION  
PTB / ROAD SWP - 1'0"



SOUTH ELEVATION  
PTB / ROAD SWP - 1'0"



WEST ELEVATION  
PTB / ROAD SWP - 1'0"

**idea**

**SKYLAND PLAZA**  
118 N. Federal Highway, Dania Beach, FL 33004 10-594JUS

**COLOR DRAWINGS**  
Color elevations

**idea**  
1000 N.W. 107th Ave., Suite 101  
Aventura, FL 33150  
Tel: 305.941.1000  
www.arsoulit.com

Scale: 3/16" = 1'-0" Date: 01-23-2012

Sheet: SP9



**S K Y L A N D P L A Z A**  
118 N. Federal Highway, Dania Beach, FL 33004 10-594UJS

COLOR DRAWINGS  
Color perspectives



2007-2012  
118 N. Federal Highway, Dania Beach, FL 33004  
www.idealandscape.com

Scale: N.T.S.

Date: 01-23-2012

Sheet: SP10



**BUILDING IDENTIFICATION WALL SIGN NOTES:**  
 1. BUILDING IDENTIFICATION WALL SIGN SHALL RESPECT SECTION 505-80-C.  
 2. SQUARE FOOTAGE OF SIGN = 75 SQ.FT.  
 3. COLORS OF SIGN: BLACK, WHITE AND BLUE.

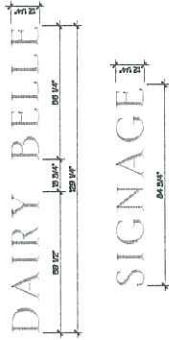
**BUILDING IDENTIFICATION WALL SIGN**  
 1/8" SCALE 1/8" = 1'-0"



**BUILDING IDENTIFICATION WALL SIGN**  
 1/8" SCALE 1/8" = 1'-0"

**SIGNAGE INSTALLATION NOTES:**

1. STUD MOUNTING FOR ALL LETTERS CONSISTS OF DRILLING HOLES IN THE BUILDING FACADE, FILING WITH 100% PURE BALUNOLINE AND SLIDING IN THE LETTER STUD MOUNTS.
2. LETTERS ARE TO BE OF ALUMINUM
3. LETTERS WILL BE OFFSET FROM THE BUILDING FACADE APPROXIMATELY 2 INCHES BY AN ACETIC SPACE.



**TYPICAL SIGNAGE DETAIL**  
 1/8" SCALE 1/8" = 1'-0"

**CALCULATIONS FOR DIMENSIONS OF SIGNAGE PER OCCUPANT AS PER SECTION 505-80-G**

OCCUPANT UNIT (REEL OR CONG.)	ALLOWED LINEAR FOOT OF FRONTAGE	PROVIDED SIGNAGE PER OCCUPANT (FOR WORKING)
RETAIL A (BUILDING 1)	139.50 FT.	30 SQ.FT.
RETAIL B (BUILDING 1)	30.50 FT.	10 SQ.FT.
RETAIL C (BUILDING 1)	29.9 50 FT.	22 SQ.FT.
RETAIL D (BUILDING 1)	35.50 FT.	22 SQ.FT.
RETAIL E (BUILDING 2)	128.50 FT.	79 SQ.FT.

**SUPERGRAPHIC SIGN**  
 1/8" SCALE 1/8" = 1'-0"



**SUPERGRAPHIC SIGN NOTES (AS PER SECTION 505-80-F)**  
 1. THE COW IS MADE OF 1/4" ALUMINUM SHEET.  
 2. THE COW IS DIRECTLY MOUNTED TO A WALL MOUNTING OF 1/2".  
 3. THE COW IS DIRECTLY MOUNTED TO THE BUILDING FACADE APPROXIMATELY 2 INCHES BY ALUMINUM SPACERS.  
 4. COLORS SHALL BE BLACK & WHITE FOR THE COW, LIGHT PINK FOR THE NECKLACE, LIGHT YELLOW FOR THE BELL AND BLACK FOR THE HOOFERS.  
 5. LED LIGHTING IS ENCLOSED IN THE MOUNTINGS LOCATED BELOW THE SUPERGRAPHIC SIGN TO ENLIGHTEN THE COW. (FOR LIGHTING PROVIDE REFER TO DETAIL SPECIFICATION # 4 OF SHEET 512S)



**BIKE RACK MODEL 7212050 OR ITS EQUAL MATERIAL: STEEL TUBING, PAINTED IN WHITE COLOR**  
 DIMENSIONS: 52 1/2" L X 16" W X 22" H  
 WEIGHT: 126 LBS.  
 REFERENCE: <http://www.pantabakerack.com>

**BIKE RACK**  
 1/8" SCALE 1/8" = 1'-0"

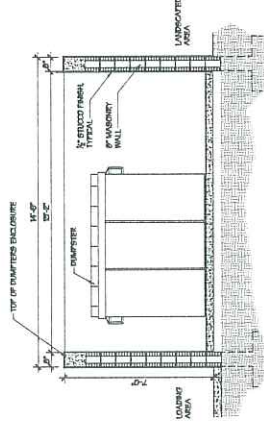
**NOTE:**  
 FOR LIGHTING FIXTURES (SHEETS 512S & 513D) AND PICK UP TABLE MANUFACTURER SELECTED OR EQUAL

**8-FOOT PICNIC TABLES**



- REQUIREMENTS:**  
 The Letters & and Frames Tables will use to support signage assembly. Built to be stronger and more durable than wood. They will not rot, rust or peel. They fit (optional) high molecular polyethylene as weather resistant epoxy tracks and low maintenance. Letters placed upon these a cost efficient presentation from almost 100 feet up.  
 • Steel Equal Legibility  
 • Superior Strength and Durability  
 • Easy to be changed  
 • Steel fasteners and Epoxy resin  
 • Will Hold Color. One Touch or Two  
 • 2" x 2" Polyethylene Weathering  
 • 2" x 2" Polyethylene Weathering  
 • Some Assembly Required  
 • 2 Year Limited Warranty.

**720507 PICNIC TABLE**  
 COLOR: WHITE  
 We also: <http://www.letters.com/frames-and-metal-picnic-tables>  
**8-FOOT PICNIC TABLE DETAIL**  
 1/8" SCALE 1/8" = 1'-0"



**DUMPSTER WALL DETAIL**  
 1/8" SCALE 1/8" = 1'-0"

**VA-08-12 & SP-40-11**  
**NOTICE OF PUBLIC HEARING**  
**CITY OF DANIA BEACH**

**NOTICE IS HEREBY GIVEN** that a public hearing will be held before the City Commission, on Tuesday, March 27, 2012, or as soon thereafter as possible in the Dania Beach City Commission Room, Administrative Center, 100 West Dania Beach Blvd., Dania Beach, Florida 33004, for the purpose of hearing any comments which might be made to the following request:

Development request by Gilles Grenier representing Skyland Plaza for design variations and site plan approval for the proposed construction of a 2-story mixed use development located at 118 N. Federal Highway in the City of Dania Beach

**VA-08-12** – The request for design variations as follows:

- 1) To allow no gallery roof, awning or arcade as part of the modified shop frontage as required by Chapter 28, Section 303-40(N) and 311-20(4);
- 2) To allow no landscape island in a row of parking where required by Chapter 28, Section 275-100(C)(1);

**SP-40-11** – The site plan request is for approval to construct two (2) buildings totaling approximately 11,000 square feet of commercial space and eight (8) residential units.

Property is legally described as Lots 15, 16, 17, 18, 19 and 2, less the west 24 feet of said lots 15, 18 and 19, Block 11, of TOWN OF MODELO, a subdivision as recorded in plat book B, Page 49, of the Public Records of Miami-Dade County, Florida; said lands situate, lying and being in the Town of Dania Beach, Broward County, Florida, and recorded in Transcript Book 1, Page 5, of the public records of Broward County, Florida; Together with Lot 43, Less the east 15 feet, of AMENDED PLAT OF BLOCK 2, Eskilson Addition, A subdivision as recorded in Plat Book 7, Page 10, of the Public Records of Broward County, Florida.

A copy of the proposed request(s) is available for viewing in the Community Development Department, 100 West Dania Beach Blvd., Dania Beach, Florida between the hours of 8:00 a.m. and 4:00 p.m., Monday – Friday please call (954) 924-6805 x3643 for more information. Interested parties may appear at the public hearing and be heard with respect to the proposed petition.

In accordance with the Americans With Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk's office, 100 W. Dania Beach Blvd, Dania Beach, FL 33004, (954) 924-6800 x3623, at least 48 hours prior to the meeting.

Please be advised that if a person decides to appeal any decision made by the Local Planning Agency, the Planning and Zoning Board or the City Commission with respect to any matter considered at this hearing, such person will need a verbatim record of the proceedings and for this purpose such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The city does not provide or prepare such record pursuant to f.s. 286.0105.

Community Development Department  
Planning Division

Friday, March 16, 2012

*See back of this notice for a location of the site*



Site location map



SKYLAND PLAZA  
VA-08-12 & SP-40-11  
118 N. Federal Highway

